



Solicitation of Bids

Construction

Little Falls Event Center and Clubhouse

City of Little Falls

Minnesota

July 19, 2019

Bids to be opened: 12:00pm (noon), day, August 21, 2019

The Bid is submitted to: City of Little Falls
c/o Jon Radermacher
City Administrator
100 Seventh Avenue Northeast
Little Falls, MN 56345

The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with the City in the form included in the Bidding Documents to perform all Work as specified or indicated in the Bidding Documents for the prices and within the times indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.

Bidder's Acknowledgements

Bidder accepts all of the terms and conditions of the Instructions to Bidders, including without limitation those dealing with the disposition of Bid security. The Bid will remain subject to acceptance for 90 days after the day of Bid opening, or for such longer period of time that Bidder may agree to in writing upon request of the City.

Bidder's Representations

In submitting this Bid, Bidder represents that:

- A. Bidder has examined and carefully studied the Bidding Documents, and any data and reference items identified in the Bidding Documents.
- B.** Bidder has visited the Site, conducted a thorough, alert visual examination of the Site and adjacent areas, and become familiar with and satisfied itself as to the general, local, and Site conditions that may affect cost, progress, and performance of the Work.
- C. Bidder is familiar with and is satisfied as to all Laws and Regulations that may affect cost, progress and performance of the Work.
- D. Bidder has carefully studied all: (1) reports of explorations and tests of subsurface conditions at or adjacent to the Site and all drawings of physical conditions relating to existing surface or subsurface structures at the Site that have been identified in the Supplementary Conditions, especially with respect to Technical Data in such reports and drawings, and (2) reports and drawings relating to

Hazardous Environmental Conditions, if any, at or adjacent to the Site that have been identified in the Supplementary Conditions, especially with respect to Technical Data in such reports and drawings.

- E. Bidder has considered the information known to Bidder itself; information commonly known to contractors doing business in the locality of the Site; information and observations obtained from visits to Site; the Bidding Documents; and any Site-related reports and drawings identified in the Bidding Documents, with respect to the effect of such information, observations, and documents on (1) the cost, progress, and performance of the Work; (2) the means, methods, techniques, sequences, and procedures of construction to be employed by Bidder, and (3) Bidder's safety precautions and programs.
- F. Bidder agrees, based on the information and observations referred to in the preceding paragraph, that no further examinations, investigations, explorations, tests, studies, or data are necessary for the determination of this Bid for performance of the Work at the price(s) bid and within the times and in accordance with the other terms and conditions of the Bidding Documents.
- G. Bidder is aware of the general nature of work to be performed by the City and others at the Site that relates to the Work as indicated in the Bidding Documents.
- H. Bidder has given Engineer written notice of all conflicts, errors, ambiguities, or discrepancies that Bidder has discovered in the Bidding Documents, and confirms that the written resolution thereof by Engineer is acceptable to Bidder.
- I. The Bidding Documents are generally sufficient to indicate and convey understanding of all terms and conditions for the performance and furnishing of the Work.

Insurance

Contractor's Insurance:

1. General

- a. The contractor shall not commence any work under this contract until certificates of insurance for all insurance required for the work has been delivered to the City. Each insurance policy shall contain a clause providing that it shall not be cancelled by the insurance company without thirty (30) days written notice to the City.

2. Workman's Compensation and Employer Liability Insurance

a. The Contractor shall secure and maintain workman's compensation and Employer's liability insurance as required by law for the duration of this contract. The contractor shall require any subcontractor to provide the same for all the subcontractor's employees engaged in the work. The contractor shall also maintain insurance required under any other employee benefit acts in force or required by law at the construction site.

3. Comprehensive General and Automobile Liability Insurance

a. Comprehensive general liability insurance including premise-operations coverage, completed operations coverage, independent contractor's coverage and contractual liability coverage is required. The insurance shall be in the amounts listed below and shall provide coverage for the following hazards:

1. Operations of the contractor
2. Operations of the subcontractor
3. Contractual Liability
4. Property Damage
5. Broad Form Property Damage
6. All owned, non-owned hired vehicles.

4. Minimum Limits – General Liability

a. Bodily Injury \$500,000 each occurrence
\$500,000 completed operations

b. Property Damage \$100,000 each occurrence
\$200,000 aggregate

5. Minimum Limits –Automobile Liability

a. Bodily Injury \$250,000 each person
\$500,000 each occurrence

b. Property Damage \$100,000 each occurrence
\$200,000 aggregate

In addition to the listed coverages, the Contractor shall procure and maintain an Umbrella Excess Liability Policy in a minimum limit of \$2,000,000. Any Umbrella Excess Liability Policy in excess of \$2,000,000 may be utilized to meet the above listed basic coverages.

6. Additional Insured

- a. The City of Little Falls shall be named and listed as additionally insured on the contractor's general liability policy. The inclusion of more than one named insured shall not operate to impair the rights of one insured against another insured, and the coverage's afforded shall apply as though separate policies has been issued to each insured.

Inquiries concerning the proposal should be directed to:

Jon Radermacher
City Administrator
100 7th Ave. NE
Little Falls, MN 56345
(320) 616-5500
jonr@cityoflittlefalls.com

Section I: Introduction

The City of Little Falls is located in Morrison County near the center of Minnesota on either side of the Mississippi river. A community of approximately 8,500 residents; Little Falls has small-town charm rich in history. Many of our attractions are within walking or biking distance. The city includes a Historic Downtown with a local art gallery at the Great River Arts Center. More history is found when you walk the grounds of the Linden Hill Conference and Retreat Center, where the historic homes of the Weyerhaeuser and the Mussers are preserved. Not only famous for bringing a lumber industry to Little Falls, but also for the beginnings of the golf course. Lindbergh State Park and the childhood home of local hero Charles A. Lindbergh, the Minnesota Fishing Museum, Pine Grove Zoo, and the Charles A. Weyerhaeuser Museum are other sites of interest, rich with local history. A short drive to the north takes you to Camp Ripley which includes the Minnesota Military Museum and the Camp Ripley Environmental Education Center. Just to the east of Camp Ripley you will find the Minnesota State Veterans Cemetery.

Mission Statement

To provide a safe, positive environment through the responsive, efficient and cost-effective delivery of City services while celebrating and building upon our treasured history.

This statement is adopted with the following core beliefs:

- Excellence and quality in the delivery of municipal services;
- Fiscal responsibility with ethics and integrity;
- Respectful treatment of each other;
- Dedication and commitment toward making our City an ideal community;
- Visionary leadership and planning for the future.

Golf Course

Little Falls Golf Course is a majestic public championship 18 hole golf course nestled along the Mississippi River. The course is known for its tight fairways and wooded rough, with finishing holes along the Mississippi River. Golf enthusiasts of all abilities will enjoy the challenges of our course, as well as the breath-taking natural beauty of the course.

Section II: Scope of Project

The City of Little Falls has an interest in building an Event Center that can host up to 200-250 people on our Golf Course Property. The Event Center must also serve as the pro shop and bar for the Little Falls Country Club during the golf season. A concept design is included and should be utilized to make the determination in the base bid and alternates.

Base Bid requirements:

Finished Upstairs, including kitchen, bathrooms, banquet area, bar and dining that can also serve as pro shop, flooring, walls, ceiling, doors, windows, plumbing, mechanical, electrical, HVAC systems, fire suppression, all exterior components, deck, siding, roof, etc. Basement shall include rough-ins for the various rooms and plumbing. Base bid must include stairs and a rough-in for an elevator. Final Architectural plans signed by licensed architect.

Alternative bids include:

#1 – Finished all basement rooms in additional to the mechanical room.

#2 – Elevator

#3 – Demolition and site restoration of the old clubhouse

Bid Specifications

Mechanical

Services:

- Provide 4” fire protection service. Provide 2” water service.
- Provide 6” sanitary waste service. Provide 750-1,000 CFH gas service.
- Fire Protection:
- Provide NFPA 13 compliant fire protection system. Provide fire department connection at main level entrance. Piping shall be CPVC.
- Heads within occupied spaces shall be concealed type. Heads within future spaces shall be upright type.

Plumbing:

- Provide duplex water heaters. Heaters shall have 50 gallon storage capacity and 75 MBH heating capacity. Water will be stored at 140 deg. F for kitchen use. Provide mixing valve to provide 110 deg. F water for general use.
- Provide 2 gpm fractional horsepower hot water recirculating pump. Provide 1-1/2” RPZ for irrigation.
- Provide cold water, hot water, waste and vent piping connections to fixtures in bathrooms, bar and kitchen. Provide four exterior hose bibs.
- Plumbing piping shall be Uponor Pex A or Pro-Press copper. Waste and vent piping shall be PVC. Provide drain tile sump pump.
- Provide grease interceptor for kitchen. Mounted under counter near 3-compartment sink.

Gas:

- Route gas piping to furnace units, kitchen makeup air unit and kitchen equipment. Provide emergency gas shutoff to kitchen equipment interlocked with hood fire suppression system.

HVAC:

- Provide (6) six high efficiency, condensing gas heat, refrigerant cooled blower units. Units shall be vertical type and manufacturer shall be Carrier, Bryant or equal. Each unit will have a capacity of 2,000 cfm, 120 MBH heating, 60 MBH (5 ton) cooling. Units will be located in the basement mechanical room. Associated condensing units will be located on grade behind the trash area.
- Duct distribution will be within the lower level ceiling. The main level will be served by floor grilles. Ductwork shall be galvanized sheet steel. All supply ductwork shall be insulated.
- Preliminary zoning will be:
 - Unit 1 and Unit 2 – Main level assembly room. Unit 3 – Main level bar area.
 - Unit 4 – Main level bathrooms, lower level locker rooms, keg room and storage. Unit 5 – Lower level meeting rooms.
 - Unit 6 – Lower level pro shop.
- Provide Type I grease hood for kitchen. Approximate size is 16'x8'. Approximate capacity is 3,000-5,000 cfm. Grease fan will be located on roof. Hood shall include integral chemical agent fire suppression system.
- Provide kitchen make up air unit. Unit shall match exhaust hood airflow. Unit shall have gas heat and refrigerant cooling. Locate unit in basement mechanical room.
- Provide 500 cfm dishwasher exhaust fan.
- Provide 4'x4'x7' deep area well in front of building with 4'x4' louver for fresh air. Fresh air will serve approximately 200 to each furnace unit and the kitchen make up air unit.
- Furnace and make up air flues will extend up through the main floor and discharge through the roof. Provide 400 cfm inline exhaust fan for main level bathrooms.
- Provide 800 cfm inline exhaust fan for lower level locker rooms. Provide 3 KW electric wall heater at main entrance.
- Provide 1.5 KW electrical wall heater at kitchen entrance.
- Controls for the building will be stand alone. Each furnace unit will be controlled by its associated thermostat. The kitchen grease hood and make up air unit will be controlled by a package hood controller. Provide controller for ventilation air. Ventilation will modulate between 3 modes, unoccupied, normal and event.
- Additional ventilation air will be required during high occupancy periods.

Electrical

Service:

- Provide an 800A, 208V 3-phase, 4-wire service. Service will be located in lower level mechanical room. Provide a 200 amp 42-circuit panel board for lighting, power, and mechanical loads on lower level.
- Provide power from main service to the elevator. Provide disconnect as required.
- The main level shall have a 400A double-tub panel to feed lighting, power, and kitchen equipment.

Power:

- Convenience receptacles shall be spaced 30 feet apart. Provide GFI type receptacles in

bathrooms.

- Provide WP style GFI outlets at all exterior doors.
- Provide all power, including plug and cord sets, for all kitchen equipment as required.
- Provide connections to all mechanical equipment as described above.

Lighting:

- All lighting shall be LED type.
- Lower level and future spaces shall have LED strip fixtures with local switches. Provide 2x4 LED flat panels in kitchen and storage spaces with local switch control.
- Bathrooms shall have vanity lights and recessed downlights and controlled by local occupancy sensors. Event space shall be a combination of recessed downlights and decorative round drum-style fixtures. The event spaces will be controlled by a dimming control panel (Graphik Eye or equal).
- The bar area will feature downlights and decorative pendants with local dimming control.
- Main entry (including curved entry) and common spaces shall be recessed LED downlights and 2x2 LED indirect fixtures with local dimming control.
- Provide exterior wall pack with integral photocell over all doors. Provide LED site poles for any parking lot areas as required.
- All exterior lighting shall be photocell controlled.
- Provide all exit and emergency lighting as required. This lighting shall have battery backup power.

Alarm Systems:

- Provide a complete and operating fire alarm system as required. Coordinate any rough-in requirements for audio/visual systems with the City. Stub out two 4" conduits for cable TV and phone service.

Deck:

- Deck floor and rails shall be maintenance-free materials.
- All posts and frames must be treated lumber.

Alternative #1: Finish Basement based on the design in addition to the mechanical room

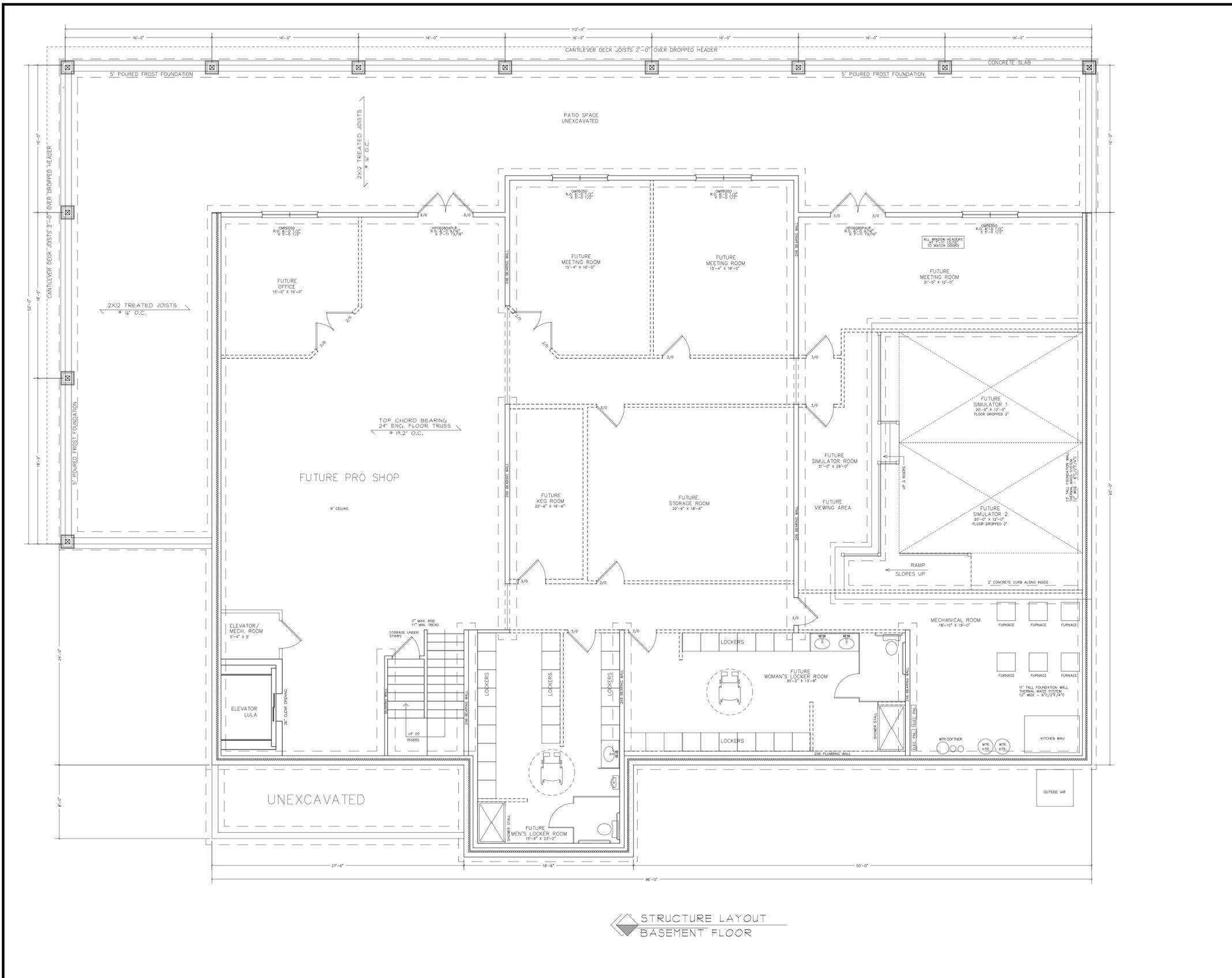
- Provide a bid alternative for the areas of the based in the design based on the expectations of in the details listed above.
- Simulator bays shall be rough-in only.

Alternative #2: Installation of the Elevator

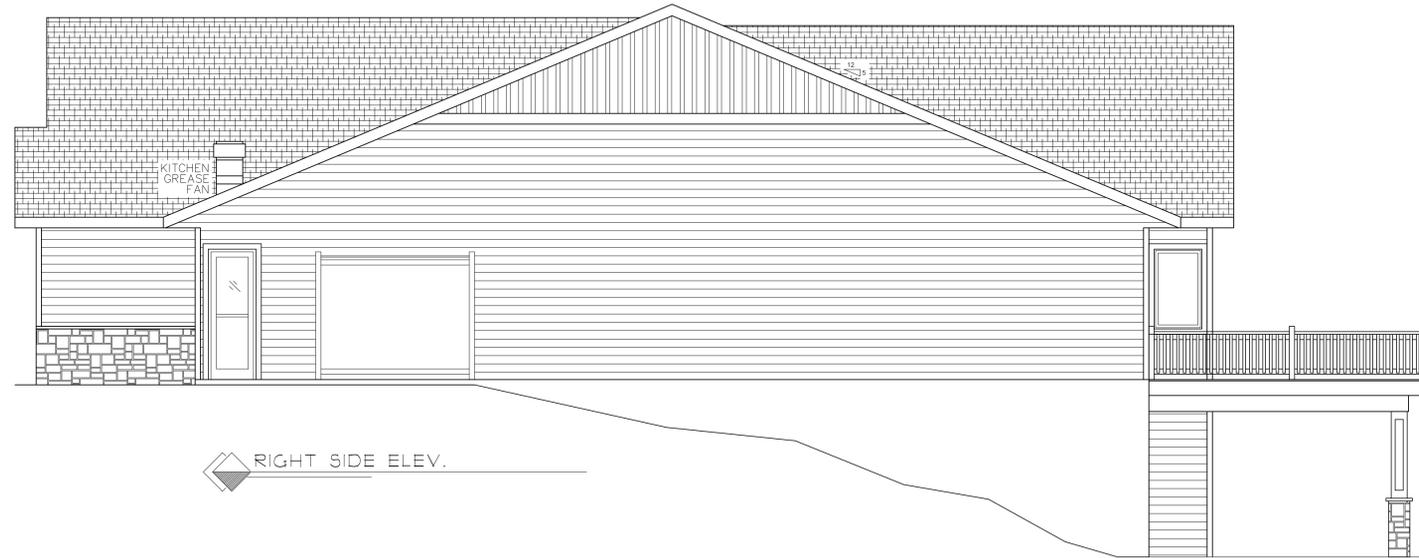
- Install a two-stop elevator in the area designated by the plans.
- Elevator must meet all state building code specifications.

Alternative #3: Demolition of the old clubhouse and leveling of the site.

- Provide a bid to demo and remove all materials of the old clubhouse and level to the site to grade of the existing property.
- All demolition materials must be delivered to Morrison County Landfill.
- Coordinate with the City for a hazardous material inspection and removal prior to demolition.



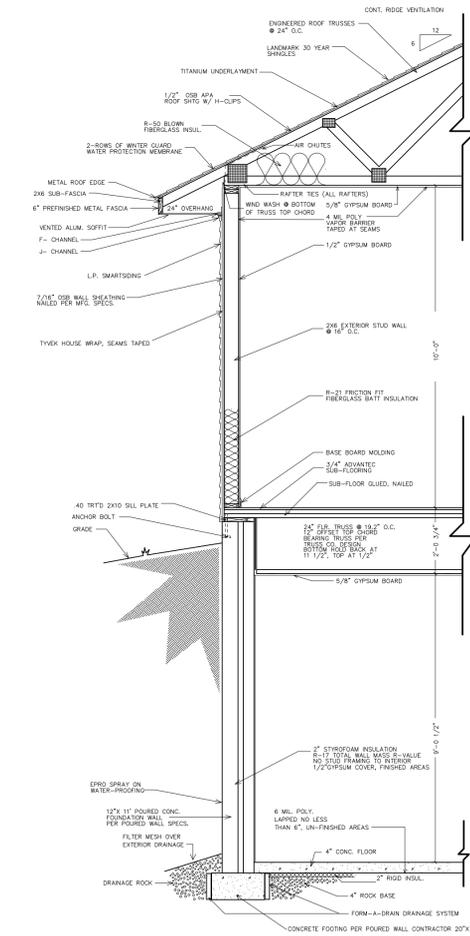
PROJECT NAME:	DATE:	SCALE:	DRAWING NAME:
RIVERVIEW RESTAURANT AND EVENT CENTER	5/22/19	VERIFY	####
LITTLE FALLS, MN 56345		SQ. FT. 6,016 MAIN 6,016 LOWER	A-1



RIGHT SIDE ELEV.



LEFT SIDE ELEV.



MAIN WALL SECTION
11' POURED WALL

PROJECT NAME:
RIVERVIEW RESTAURANT
AND EVENT CENTER
LITTLE FALLS, MN 56345

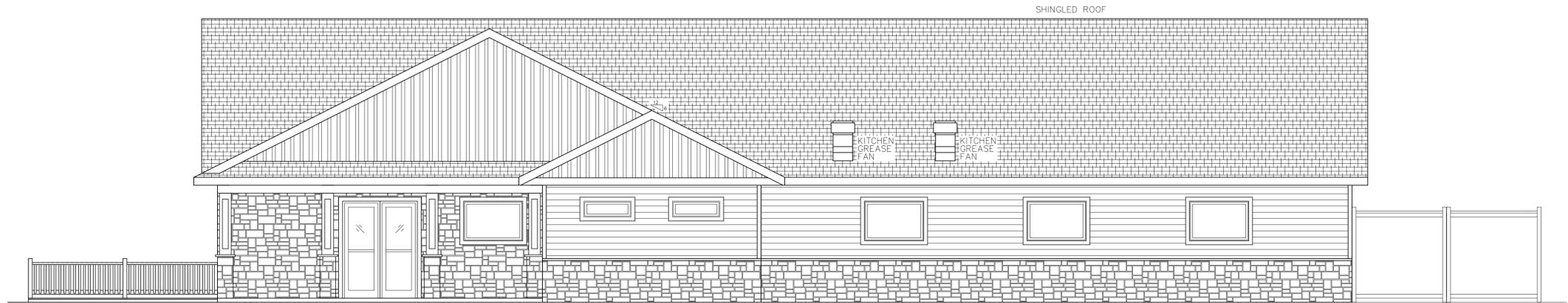
DATE:
5/22/19

SCALE:
VERIFY

DRAWING NAME:
####

SQ. FT.
4,016 MAIN
4,016 LOWER

A-1

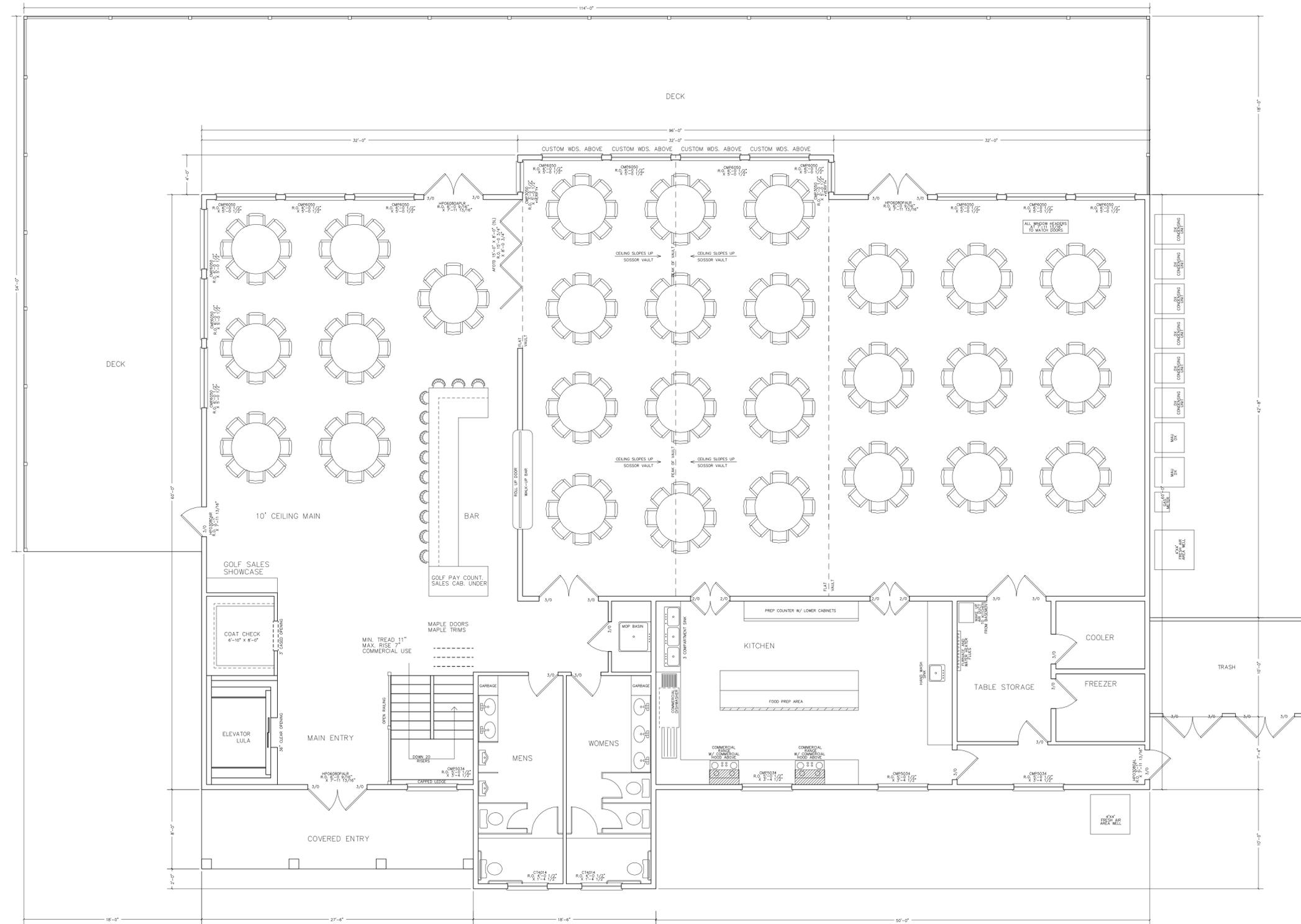


FRONT ELEVATION



REAR ELEVATION

PROJECT NAME:	DATE:	SCALE:	DRAWING NAME:
RIVERVIEW RESTAURANT AND EVENT CENTER	5/22/19	VERIFY	####
LITTLE FALLS, MN 56345		SQ. FT. 6,016 MAIN 6,016 LOWER	A-1



STRUCTURE LAYOUT
MAIN FLOOR

PROJECT NAME:	DATE:	SCALE:	DRAWING NAME:
RIVERVIEW RESTAURANT AND EVENT CENTER	5/22/19	VERIFY	####
LITTLE FALLS, MN 56345		SQ. FT.	
		6,016 MAIN	A-1
		6,016 LOWER	